

PUBLIC NOTICE AND AGENDA OF THE GROVELAND LOCAL PLANNING AGENCY
MEETING SCHEDULED TO CONVENE AT 6:30 P.M., MONDAY, MAY 2, 2016, IN THE PURYEAR
BUILDING AT 243 SOUTH LAKE AVENUE.

CALL TO ORDER
ROLL CALL

| | | |
|-------------------|---------------------------|----------------------------------|
| MAYOR | TIM LOUCKS | tim.loucks@groveland-fl.gov |
| VICE-MAYOR | KAREN MCMICAN | karen.mcmican@groveland-fl.gov |
| COUNCILMEMBER | JOHN GRIFFIN | john.griffin@groveland-fl.gov |
| COUNCILMEMBER | DINA SWEATT | dina.sweatt@groveland-fl.gov |
| COUNCILMEMBER | MIKE RADZIK | mike.radzik@groveland-fl.gov |
| CITY ATTORNEY | ANITA GERACI-CARVER, ESQ. | |
| CITY MANAGER | REDMOND JONES, II | redmond.jones@groveland-fl.gov |
| ACTING CITY CLERK | LISA CORTESE | lisa.cortese@groveland-fl.gov |
| SERGEANT-AT-ARMS | CHIEF M. SMITH TENNYSON | melvin.tennyson@groveland-fl.gov |

Please note: Most written communication to or from government officials regarding government business are public records available to the public and media upon request. Your e-mail communications may therefore be subject to public disclosure.

AGENDA

1. Approval of Meeting Minutes from April 18, 2016
2. Approve Resolution 2016-05-11: Rockers Lockers Lots 3-5 Landscaping Variance
3. Approve Rockers Lockers Lots 3-5 Site Plan

Comments from the Public

Adjournment

Groveland Code of Ordinances Sec. 2-58 (f). Any person desiring to address the council shall first secure the permission of the presiding officer and shall give his name and address for the record. All remarks shall be addressed to the council as a body and not to any member thereof unless permission to do so is first granted by the presiding officer. Unless further time is granted by the presiding officer or the council, members of the public shall limit their discussion or address to no more than five minutes. No question shall be asked a councilmember or city official except through the presiding officer. If your address is exempt from public record you are not required to state it. In addition do not give out your Social Security Number, phone number, email address of any other information you do not want others to have access to as the meetings are recorded and those recordings are considered public record.

Pursuant to the provisions of Chap. 286, F.S., Sec. 286.0105, if a person decides to appeal any decision made by this body with respect to any matter considered at this meeting, he or she will need a record of the proceedings, and that for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made, which record may include the testimony and evidence upon which the appeal is to be based and is advised to make such arrangements at his or her own expense.

City of Groveland
Minutes
Local Planning Agency Meeting
Monday, April 18, 2016

The Groveland Local Planning Agency held a regular meeting on Monday, April 18, 2016 in the E.L. Puryear Building located at 243 S. Lake Avenue. Mayor Tim Loucks called the meeting to order at 6:50pm with the following members present: Vice Mayor Karen McMican, Council Members Mike Radzik, John Griffin and Dina Sweatt. City officials present were: City Manager Redmond Jones, Acting City Clerk Lisa Cortese, and Sergeant-at-Arms Chief M. Smith Tennyson.

AGENDA

1. Approval of Meeting Minutes 03-07-16

Council Member Dina Sweatt moved to approve; seconded by Vice-Mayor Karen McMican.

The motion was approved with all members present voting aye.

2. Resolution 2016-04-09: Front side Setback Variance (Green Valley Townhomes)

Council Member Dina Sweatt moved to approve; seconded by Vice-Mayor Karen McMican.

The motion was approved with all members present voting aye.

ADJOURNMENT

Chairman Tim Loucks adjourned the meeting at 6:55pm.



Attest:

Tim Loucks, Mayor

Lisa Cortese, Acting City Clerk



REQUEST FOR LPA CONSIDERATION

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|----------------------------------|
| MEETING DATE: May 2, 2016 |
|----------------------------------|

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|---|
| AGENDA ITEM: Rockers Lockers Site Plan |
|---|

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|--|
| CITY GOAL: Develop, maintain and rebuild safe, clean, diverse, healthy, neighborhoods, including partnering with the school district. |
|--|

| |
|---|
| PREPARED BY: Ken Comia, City Planner |
|---|

| |
|-----------------------------|
| DATE: April 22, 2016 |
|-----------------------------|

BACKGROUND:

The Rocker Family Trust had submitted to the City for review a site plan that incorporated Lots 3, 4 and 5 of the Green Valley Commons Plat. Instead of six separate processes for each individual lot, which includes a construction plan review before any building plan review could occur, the developer had to combine all lots into one legal lot creating a more efficient review process. After Council approval, the Rocker Family Trust will present engineering plans.

The Rocker Family Trust is proposing a series of 13 buildings of various sizes within the commercial PUD. The PUD is located directly north of State Road 50, south of Magnificent Lane and the Green Valley Townhomes subdivision and west of Green Valley Boulevard.

The Council considered variances for landscaping and architectural details before being presented this site plan. Staff recommends approval of the site plan for Rockers Lockers.

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| STAFF RECOMMENDATION: Approve the motion |
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| REVIEWED BY CITY MANAGER: |
|----------------------------------|

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|------------------------|
| COUNCIL ACTION: |
|------------------------|

| |
|-------------------|
| MOTION BY: |
|-------------------|

| |
|-------------------|
| SECOND BY: |
|-------------------|

"The city with a future, watch us grow!"



Denham Engineering, LLC
Groveland, FL 32045
407-317-4487
denham@denhameng.com
www.denhameng.com

Rocker Family Trust

Rocker's Lockers
Green Valley Commons
Commons Lots 3-5
Groveland, FL

Site Plans

Cover Sheet

Revisions

| No. | Revised |
|-----|----------------|
| 1 | Initial Design |
| 2 | Final Design |
| 3 | Final Design |
| 4 | Final Design |
| 5 | Final Design |
| 6 | Final Design |
| 7 | Final Design |

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Denham Engineering, LLC
Groveland, FL 32045
407-317-4487
denham@denhameng.com
www.denhameng.com



GRAPHIC SCALE
0 100 200 400
1 inch = 2000 ft.

Sheet Number

1 of 7

Rockers Lockers

Green Valley Commons - Lots 3 - 5
Groveland, FL

Site Plans

for
Rocker Family Trust
by
Denham Engineering, LLC



Call Sunshine Before You Dig (1-800-432-4770)

Project Team

Utilities

Vicinity Map

Drawing Index

Owner

Walter Family Trust
1000 S. 1st Avenue
Groveland, FL 32045
Ph: (907) 344-7281

Civil Engineer

Denham Engineering, LLC
3215 W. 1st Avenue
Groveland, FL 32045
Ph: (907) 317-4487

Architect

Denham Engineering, LLC
3215 W. 1st Avenue
Groveland, FL 32045
Ph: (907) 317-4487

Geotechnical Engineer

Denham Engineering, LLC
3215 W. 1st Avenue
Groveland, FL 32045
Ph: (907) 317-4487

Surveyor

Denham Engineering, LLC
3215 W. 1st Avenue
Groveland, FL 32045
Ph: (907) 317-4487

Landscaping Architect

Denham Engineering, LLC
3215 W. 1st Avenue
Groveland, FL 32045
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Electric

Denham Engineering, LLC
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Groveland, FL 32045
Ph: (907) 317-4487

Plumbing

Denham Engineering, LLC
3215 W. 1st Avenue
Groveland, FL 32045
Ph: (907) 317-4487

Civil

Denham Engineering, LLC
3215 W. 1st Avenue
Groveland, FL 32045
Ph: (907) 317-4487



STR: 21, 22S, 25E

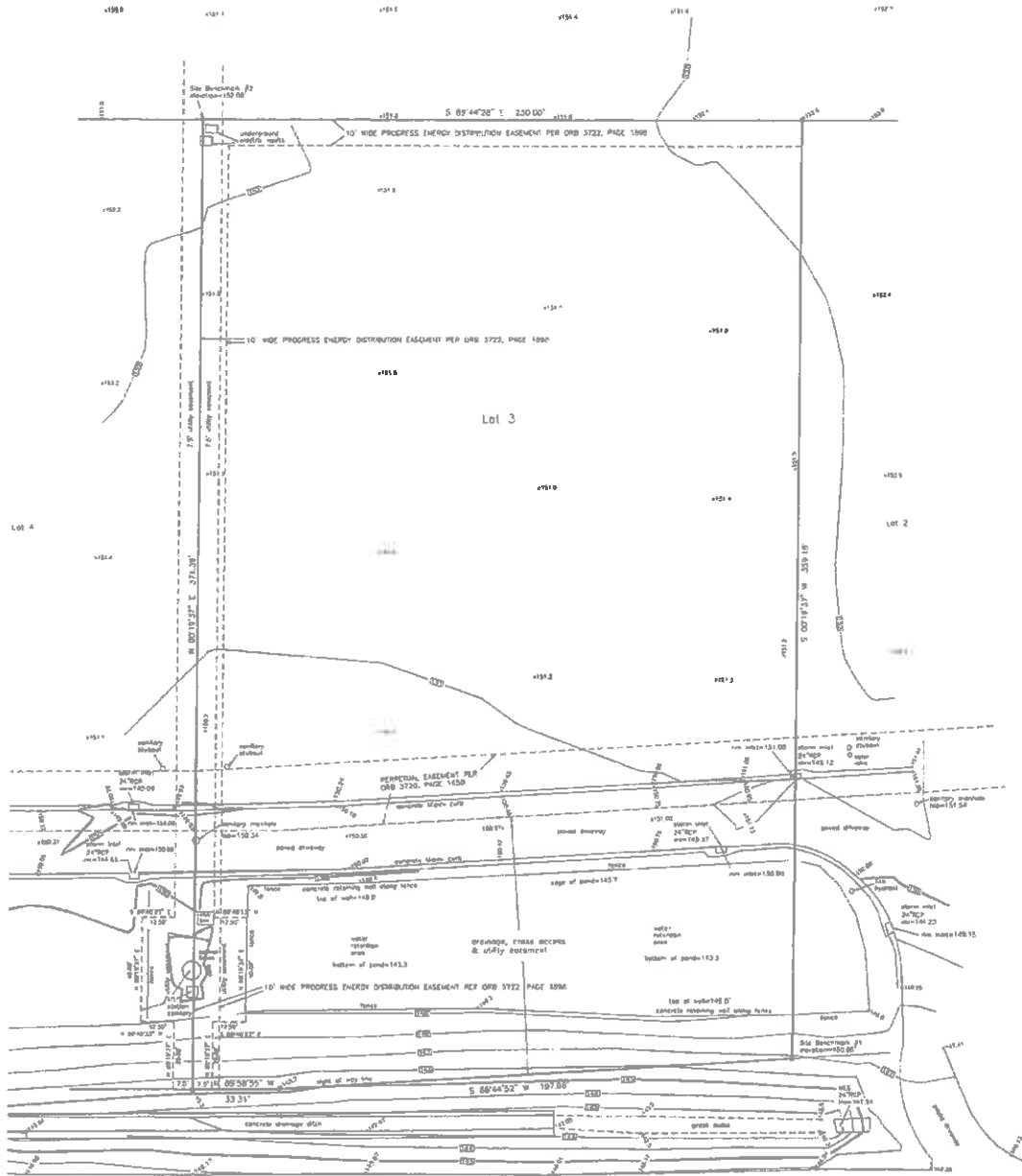
1" = 2,000'

| No. | Title | Revised |
|-----|----------------|------------|
| 1 | Initial Design | 01-24-2018 |
| 2 | Final Design | 01-24-2018 |
| 3 | Final Design | 01-24-2018 |
| 4 | Final Design | 01-24-2018 |
| 5 | Final Design | 01-24-2018 |
| 6 | Final Design | 01-24-2018 |
| 7 | Final Design | 01-24-2018 |

Map of Boundary & Topographic Survey

Description
 Lot 3, GREEN VALLEY COMMONS,
 according to the plat thereof, as recorded
 Plat Book 52, Pages 85-86,
 Public Records of Lake County Florida

Notes
 -Bearings based on the north line of Lot 3
 at Survey 3 824728' E, or assumed meridian
 -Legal description is subject to deed
 -Title commitment by Western Land Title Insurance Company
 for Map 12-124 dated 11/30/16 was provided for this Survey
 -No adjacent or underground improvements,
 other than those shown, located this date
 -Subject property contains 1.832 acres, more or less
 -Easements based on original project datum (NAD 83) 1928 datum



State Road No. 50

LEGEND
 ● Denotes found 1/2" iron rod
 ○ Denotes set 1/2" iron rod &
 cap marked "LS 6880"

Surveyor's Certification
 I hereby certify to the Rocker Family Trust
 that this Map of Boundary & Topographic Survey
 meets the Standards of Practice for surveys as set
 forth in Chapter 54-17 Florida Administrative Code,
 pursuant to Section 472.027, Florida Statutes

DATE: 01/20/15
 JEFFREY P. RHODEN PSM #5322
 STATE OF FLORIDA
 UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL
 RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND
 MAPPER, THIS MAP/REPORT IS FOR INFORMATIONAL
 PURPOSES ONLY AND IS NOT VALID

LSM Consent
 I hereby declare that I have read the
 map of the Florida Insurance Rate
 Map number 12069C 0565 E dated Dec 16,
 2012, and that to the best of my knowledge,
 belief and my professional opinion that the
 subject property lies within flood zone 7

01/26/16 updated Survey with new title commitment for Western
 06/20/15 revised title commitment, add perpetual easement & Plat E easement
 01/20/15 added Rhoden datum to original project datum

| | |
|------------------------|---|
| Field Date 12/23/14 | Prepared for Rocker Family Trust |
| Drawn by JPR | Rhoden Land Surveying, Inc. |
| Scale 1"=20' | LB #6880 420 E Manatee Ave Clermont, FL 34711 352-394-6220 |

Map of Boundary & Topographic Survey

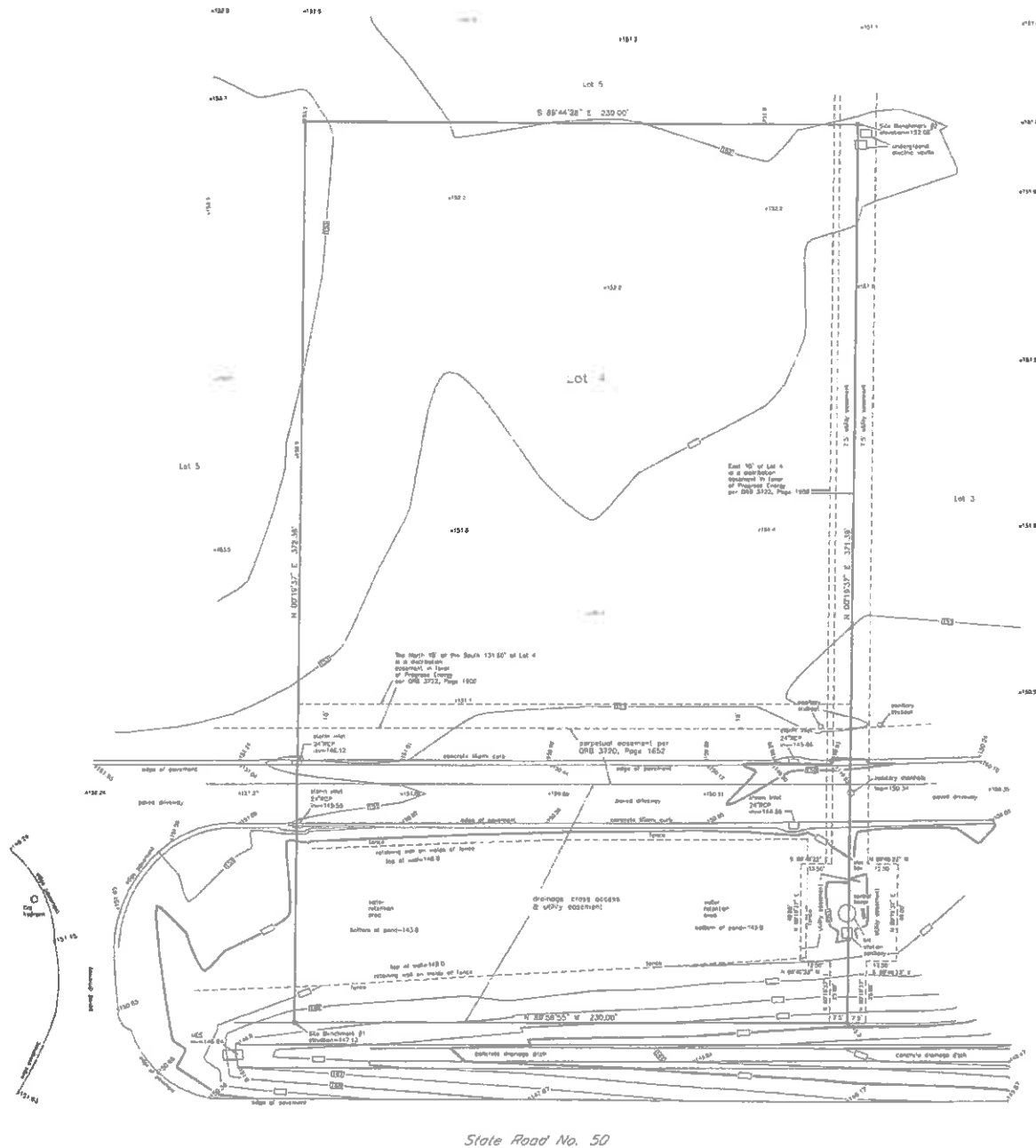
Description

Lot 4, GREEN VALLEY COMMONS,
according to the plat thereof, as recorded in
Plat Book 52, Pages 85-86,
Public Records of Lake County, Florida

Notes

- Bearings noted on the map are of Lot 4
as being S 89°44'28" E, as assumed meridian
- Legal description recorded by deed
- Title guaranteed by Western Land Title Insurance Company
- The No. 13-294 dated 11/20/10 was provided
for the Survey
- No mineral or underground improvements,
other than those shown, located this area.
- Subject property contains 1.064 acres, more
or less, and is subject to any rights of use or
easements of record.
- Elevations based on original datum (NGVD 1929 datum)

Scale = 1"=20'



State Road No. 50

LEGEND

- Denotes found 1/2" iron rod
- Denotes set 1/2" iron rod &
cap marked "LB 6980"

Surveyor's Certification
I hereby certify to the Rocker Family Trust
that this Map of Boundary & Topographic Survey
meets the Standards of Practice for surveys as set
forth in Chapter 59-17 Florida Administrative Code,
pursuant to Section 472.027, Florida Statutes

JEFFREY P. RHODEN PSM #5322
STATE OF FLORIDA

UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL
RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND
MAPPER, THIS MAP/REPORT IS FOR INFORMATIONAL
PURPOSES ONLY AND IS NOT VALID

Lot's Covenants

I hereby declare that based on my
examination of the Flood Insurance Rate
Map number 22099C 0545 E dated Dec 18,
2012, and that to the best of my knowledge
and belief and my professional opinion that the
subject property lies within flood zone X

6/1/10, 10, updated Survey with 14th amendment
8/1/20/15 printed elevation datum to original project datum

| | | |
|------------------------|--|-----------|
| Field Date 12/23/14 | Prepared for Rocker Family Trust | 02075.054 |
| Drawn by _jap | Rhoden Land Surveying, Inc. | |
| Scale 1"=20' | 420 E Minnehaha Ave Chiefland, FL 34711 352 394-6255 | |

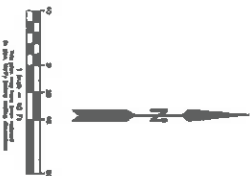
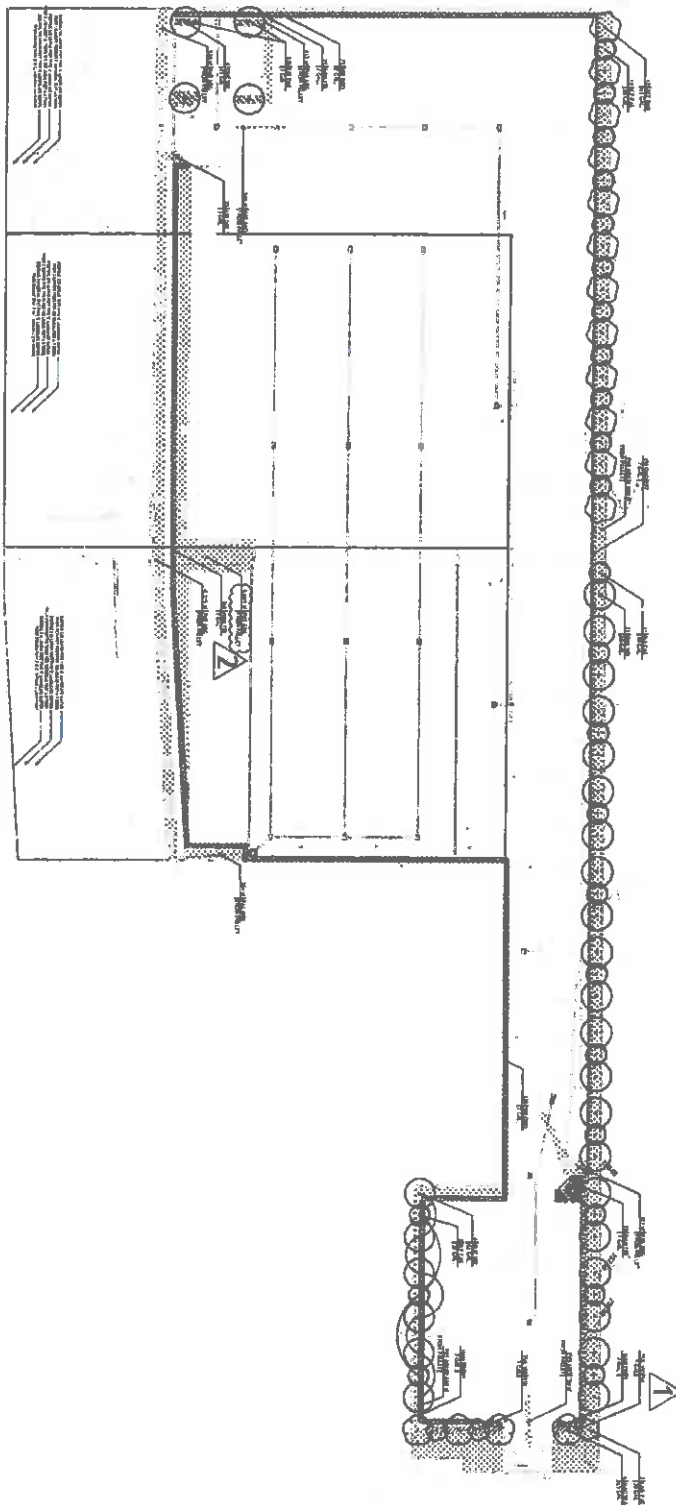
Description:
Lot 5, GREEN VALLEY COMMONS,
according to the plat thereof, as recorded in
Plat Book 52, Pages 85-86,
Public Records of Lake County, Florida

[illegible]

Little Doubt
I regularly feature their brand on my announcement of the Food Insurance Rate 400 number 1209G 0555 & dated Dec. 18, 2012, and that to be best of my knowledge tested and my professional opinion that the subject property was within flood zone X

| | | |
|-----------------------|---|------------|
| 7340 Date 01/09/15 | Prepared for: Rocket Family Trust | 020175.005 |
| Drawn by JPM | Rhodon Land Surveying, Inc. LB 18590 420 E Merriam Ave Glenwood, N. M. 87111 505-264-6235 | |
| Scale 1"=40' | | |

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Scale 1/8" = 1'-0"

SummaCare.com

2013-12-12 10:00 AM

Soil

LANDSCAPE PLAN

SITE PLANS

ROCKERS FAMILY TRUST
ROCKERS LOCKERS
L.O.M. 3.4.3
DRIVE VALLEY COMMONS
C. ROYALTY, FLORIDA

ROCKERS FAMILY TRUST



100

[illegible]

A hand-drawn sketch of a tree with various labels and notes. The tree has a thick trunk and many branches. Labels include "Cedar" at the top left, "Maple" at the top right, "Oak" at the bottom left, and "Pine" at the bottom right. There are also several handwritten notes and numbers scattered around the tree.

Figure 1 is a schematic diagram illustrating the distribution of water and nutrients in a plant root system. The diagram shows a cross-section of the root system, with labels for 'Root system', 'Soil', 'Water', 'Nutrients', and 'Plant'. Arrows indicate the flow of water and nutrients from the soil into the root system and then to the plant. A legend at the bottom right explains the symbols used in the diagram.

[illegible]

WORKING TOGETHER

- [illegible]

INFORMATION SCHEDULE

[illegible][illegible]

CRITICAL ANALYSIS

[illegible]

**ROCKER
FAMILY
TRUST**

ROCKERS LOCKERS

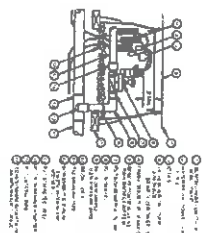
SITE PLANS

IRRIGATION

See

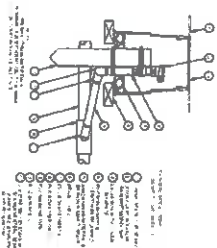
Sunshine1.com

14



1 REMOTE CONTROL VALVE

Scale: 8" = 1'



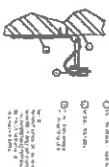
5 QUICK COUPLER VALVE

Scale: 8" = 1'



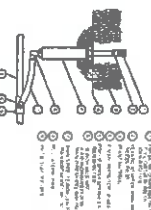
8 SPRINKLER NOZZLE ON FIXED RISER

Scale: 8" = 1'



6 WALL MOUNTED RAIN SENSOR

Scale: 8" = 1'



9 TYPICAL RUBBER DETAIL

Scale: 8" = 1'



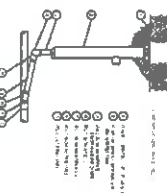
3 TYPICAL THRUST BLOCK DETAIL

Scale: 8" = 1'



7 GATE VALVE

Scale: 8" = 1'



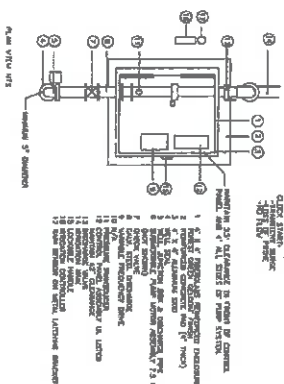
10 TYPICAL POP-UP SPRAY HEAD DETAIL

Scale: 8" = 1'



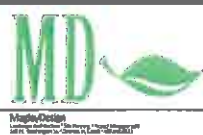
4 ESP-LINE CONTROLLER IN METAL CABINET

Scale: 8" = 1'



11 SUBMERSIBLE PUMP SYSTEM DETAIL

Scale: 8" = 1'



ROCKER
FAMILY
TRUST

ROCKERS
LOCKERS
LOTS 3, 4, 5
GREEN VALLEY COMMONS
GREEN VALLEY, FLORIDA

SITE
PLANS

IRRIGATION
DETAILS

| |
|---|
| Sheet: 23 of 23 |
| Project: 1000 N. Washington St., Suite 100, Tallahassee, FL 32301 |
| Client: 1000 N. Washington St., Suite 100, Tallahassee, FL 32301 |
| Scale: 8" = 1' |
| Author: 1000 N. Washington St., Suite 100, Tallahassee, FL 32301 |
| Check: 1000 N. Washington St., Suite 100, Tallahassee, FL 32301 |
| Seal: 1000 N. Washington St., Suite 100, Tallahassee, FL 32301 |

1000 N. Washington St., Suite 100, Tallahassee, FL 32301

Sheet Number
L5



REQUEST FOR LPA CONSIDERATION

MEETING DATE: May 2, 2016

AGENDA ITEM: Resolution 2016-05-11 – Variance to Landscaping and Architectural Details – Rockers Lockers

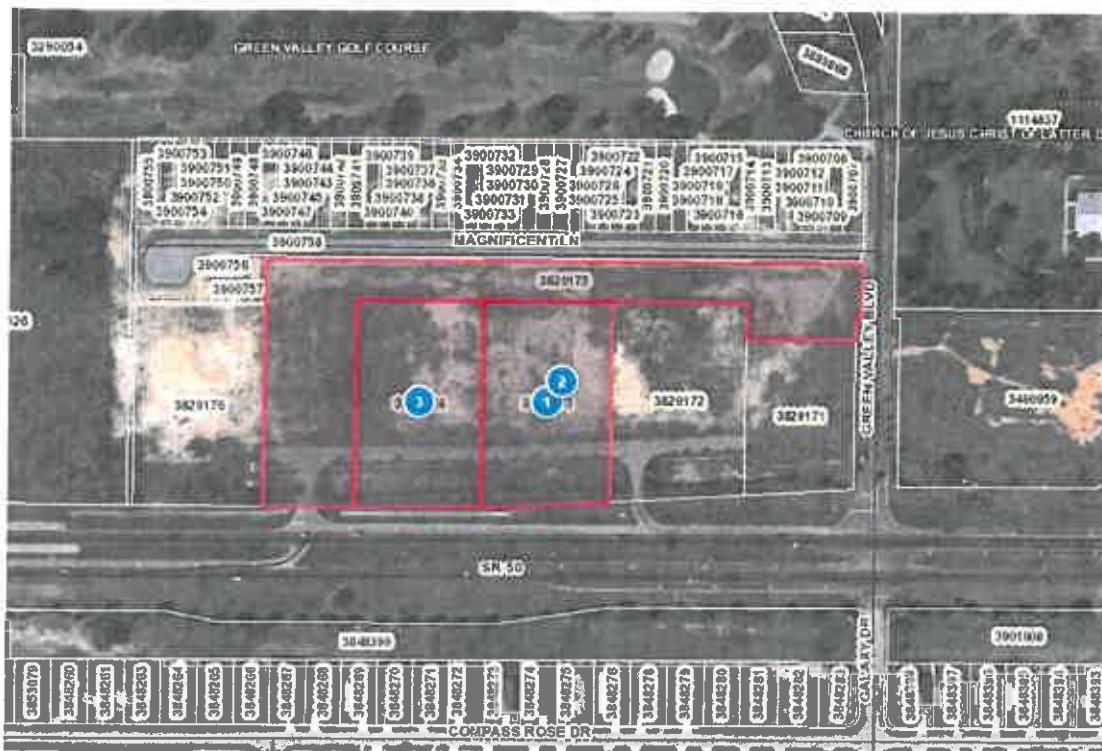
CITY GOAL: Develop, maintain and rebuild safe, clean, diverse, healthy, neighborhoods, including partnering with the school district.

PREPARED BY: Ken Comia, City Planner

DATE: April 27, 2016

BACKGROUND:

The Rocker Family Trust owns three parcels on State Road 50. The parcels are highlighted:



The Rocker Family Trust submitted a site plan of a storage rental facility which has been reviewed and will be forth coming to the LPA and City Council in the near future. However, during the site plan process the applicant has requested variances from the landscaping code and from the code regulating architectural details for exterior elevations. These variances as listed on their application are identified below:

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Landscaping

When Council approved the preliminary plat for the project, it contained a landscape buffer of 10-foot on the north and west property boundaries, rather than 15' landscape buffer B as required in Sec. 133-67. The applicant is aggregating Lots 3, 4 and 5, therefore the perimeter of the three lots collectively is the focus. Landscape buffer B requires:

Either:

- (1) 15' buffer consisting of 4 canopy trees, 3 ornamental trees, 2 foot high hedge, six-foot wall or fence and 20% of landscape ground cover other than turf; or
- (2) 20' buffer consisting of 3 canopy trees, 2 foot high hedge, 15% of landscape ground cover other than turf.

Sec. 133-67(1) provides that if no buffer exists on the adjoining property, buffering is required. It further provides that for commercial parcels within a master-planned commercial center or mixed use PUD, the applicant may use the buffer installed on adjacent parcels within the same development if the buffers were required by a development order approved by the city.

The applicant is also requesting a variance from Sec. 133-99 which requires:

- (1)f. Canopy trees shall be planted an average of 50-foot centers around the total perimeter of the parking lot.
- (2) Buildings shall have landscaping areas planted with trees, shrubs and ground covers, other than sod, around the building.
- (8) 3 canopy trees for every 150 linear feet of retention pond bank shall be required. A minimum of 3 canopy trees shall be required at retention ponds.

Sec. 133-6 in the landscaping code states that "Council may waive or reduce a portion of the required landscaping and/or buffering requirements under any one of the following conditions:

- (1) The strict application of one or several of these requirements would create a nonconforming use.
- (2) When, because of the particular physical surroundings, shape or topographical condition of a property, strict compliance would cause an unreasonable hardship on the property.

The applicant has stated the following justifications:

- a. Preliminary plat has a 10' wide rear buffer (north and west sides). Lots 3, 4 and 5 are being combined. The west buffer has storm pipes preventing trees from being planted, but mostly blocked by Lot 6.
- b. Perimeter landscaping required around the buildings are not suitable for the self-storage units, particularly on access sides. Shrubs are most appropriate for the small internal buffers.

"The city with a future, watch us grow!"

- c. Applicant states it did not create difference in the PUD plans and written documents, and weren't aware of them until receiving the City's comments during site plan review. The PUD plan set up the internal and external landscape and setback requirements applicant was trying to adhere to.
- d. Lot 5 is an unusual layout and the nature of self-storage facilities.
- e. Site specific landscaping fits well with the design of the project.
- f. Existing and proposed landscaping blocks a lot of the view from the adjacent roads. Adjacent lots 6, 2 and 1 block additional views and landscaping between them would not provide benefit as it wouldn't be seen.
- g. The project is improving the area with additional landscaping and upkeep of a property that has not been maintained for over 10 years.

Additional justifications can be found in the attached correspondence from J. Brian Denham, P.E. (**March 4, 2016 letter**).

"The city with a future, watch us grow!"



Denham

Engineering, LLC

March 4, 2016

Mr. Ken Comia
Planner
City of Groveland
156 S. Lake Ave.
Groveland, FL 34736

PLAN NAME: Rockers Lockers – Green Valley Lots 3-5
Site Plan Review
PLAN NUMBER: Application No. 2015-86

Dear Mr. Comia,

The following is our response to the city comments dated 2-16-16.

City Attorney

1. Please advise whether or not Building 7 encroaches on 10' Distribution Easement recorded in O.R. Book 3722, Page 1900, Public Records of Lake County, Florida.
Response: Buildings have been revised accordingly. This was information that came up on the new January 9 survey and it was not known to be an issue. We appreciate you pointing this out. See revised plans.
2. If not already on file, please have Owner/Agent affidavits submitted and signed on behalf of Vacation Finance, LLC and B&J Finance, LLC, as the title opinion reflects them as owners.
Response: There's no place for a company name on the city affidavit, so we are submitting the sunbiz prints showing Billy Rocker owns the companies.
3. **THIS COMMENT WAS NOT ADDRESSED:** The setbacks set forth in the approved PUD are: Front: 35 feet, Rear: 10 feet, Side 25 feet. The site plan does not meet these setback requirements. Any adjustment requires an amendment to the PUD ordinance, and/or the applicant can aggregate lots into one parcel which removes the setback requirements between applicant's lots, but not between adjacent lots. In either circumstance, utility easements cannot be disregarded. It appears Bldg. 7 encroaches within a drainage/ingress egress easement.
Response: see revised plans. Building 7 has been revised to avoid the easement. We request the lots be aggregated so we may accomplish the layout shown on the plans.
4. The following are visible from SR 50, other public right of way, and may be visible from adjoining properties' public space: Building 2 - West Elevation, Building 8 – East Elevation, Building 11 -North Elevation, Building 13- South Elevation. Therefore, each must meet the

architectural details provided in Sec. 153-106 and Sec. 153-35(c)(20). Not all architectural details and requirements provided for in Sec. 153-35(c)(19) are met.

Response: owner would like to request approval from the city council for this item.

Building 2 West will be blocked by our landscaping and the development on lot 6.

Building 8 East will be blocked by our landscaping and the development on lot 2.

Building 11 is internal to the site and has the retention area and landscaping to block view. Building 13 South will be blocked by our landscaping and the development on lot 1.

5. Trash receptacles should be required. Sec. 153-35(c)(40). Sec. 137-114. "Sec. 153-35(c)(40). Site furnishings including, but not limited to, benches, bicycle racks, trash receptacles and shopping cart corrals shall be compatible with the architectural design of the principal structure and, if located within a planned development, consistent with a uniform program established for all properties within said development." Sec. 137-114: "Site furnishings including, but not limited to, benches, bicycle racks, trash receptacles and shopping cart corrals shall be compatible with the architectural design of the principal structure and, if located within a planned development, consistent with a uniform program established for all properties within said development."

Response: Owner's experience indicates benches, bicycle racks, trash receptacles and shopping cart corrals are not necessary.

6. Compliance with landscaping buffers and landscaping requirements are not met. Any adjustments to buffers and requirements require a waiver approved by City Council. See Sec. 133-99 and 133-67. Although Council approved adjusted setbacks in the preliminary site plan (which should be amended in the PUD as well), the City Landscape Code requires Council to specifically grant variances. No mention was made of landscaping variances. This requires formal action by Council in the form of a resolution.

Response: We request variances necessary to accomplish that shown on the plans. The landscape architect has provided a detailed explanation of our position. We request to proceed simultaneously where staff should make the order on the agenda to be (1) variance from landscape code followed by (2) site plan approval.

The following is the response by the Landscape Architect:

133-67 (b)

The western property line requires a Buffer type 'B' that can either be 15' wide or 20' wide. We have approved a 10' width buffer and a drainage pipe is centered on the 10' width. So in our opinion nothing but shrubs can be planned for this buffer.

133-67 (b)

The northern property line requires a Buffer type 'B' that can either be 15' wide or 20' wide. We have an approved 10' width and have been requested to improve the facade of the buildings above and beyond for appearance reasons. We believe then a fence should not be required, covering up the improvements. Canopy trees were shown at 32' o.c. and ornamental trees at 32' on center. And, a 2' hgt. hedge was provided that covers 20% of the area/width.

133-67 (b)

Along the southern boundary lines requires a Buffer type 'B' that already exists and is between the frontage road and the SR50 ROW line. We have noted such on the plans and felt that the existing buffer satisfies the intent of the buffer requirement. This was understood from previous meetings with Brian Denham, you and the City.

Along the eastern boundary lines requires a Buffer type 'B' that can either be 15' wide or 20' wide. For the first 147' going north to south the same buffer as the norther property line was provided, having Canopy tree's at 32' o.c. This as well as the northern buffer is identical to that approved earlier on plans provided on 2007. Ornamental trees at 32' on center, a 2' hgt. hedge that covers 20% of the area/width. The actual buffer width was 29' and building walls and fence gates provide enclosure.

133-99(1)f. Parking lot perimeter trees and spacing

Trees are requires at avg. 50 LF around perimeter of parking lot with a maximum spacing of 150' and must be from 8' to 30' from the edge of pavement. South of the parking lot the trees cannot be provided. There is no land available that is not in an easement.

133-99 (2) Building Perimeter Landscaping

Since the function of the buildings are to provide storage and require continuous vehicular access, nearly all building perimeters are paved and cannot be landscaped. Those facing the right-of-way were provided buffers according to the above descriptions.

133-99(8) Retention Pond Landscaping

Retention ponds are required to be provided with on tree every 150 LF of bank (top of bank) and within 40' of the top pf bank. We did not see any land available that was not a part of the northern property line buffer that was outside the maintenance berm to plant trees, and the underground piping within the pond indicated planting them in the pond would not be feasible.

We have been though the code and had discussions with our team on previous approvals and feel this satisfies the intent of the landscape code.

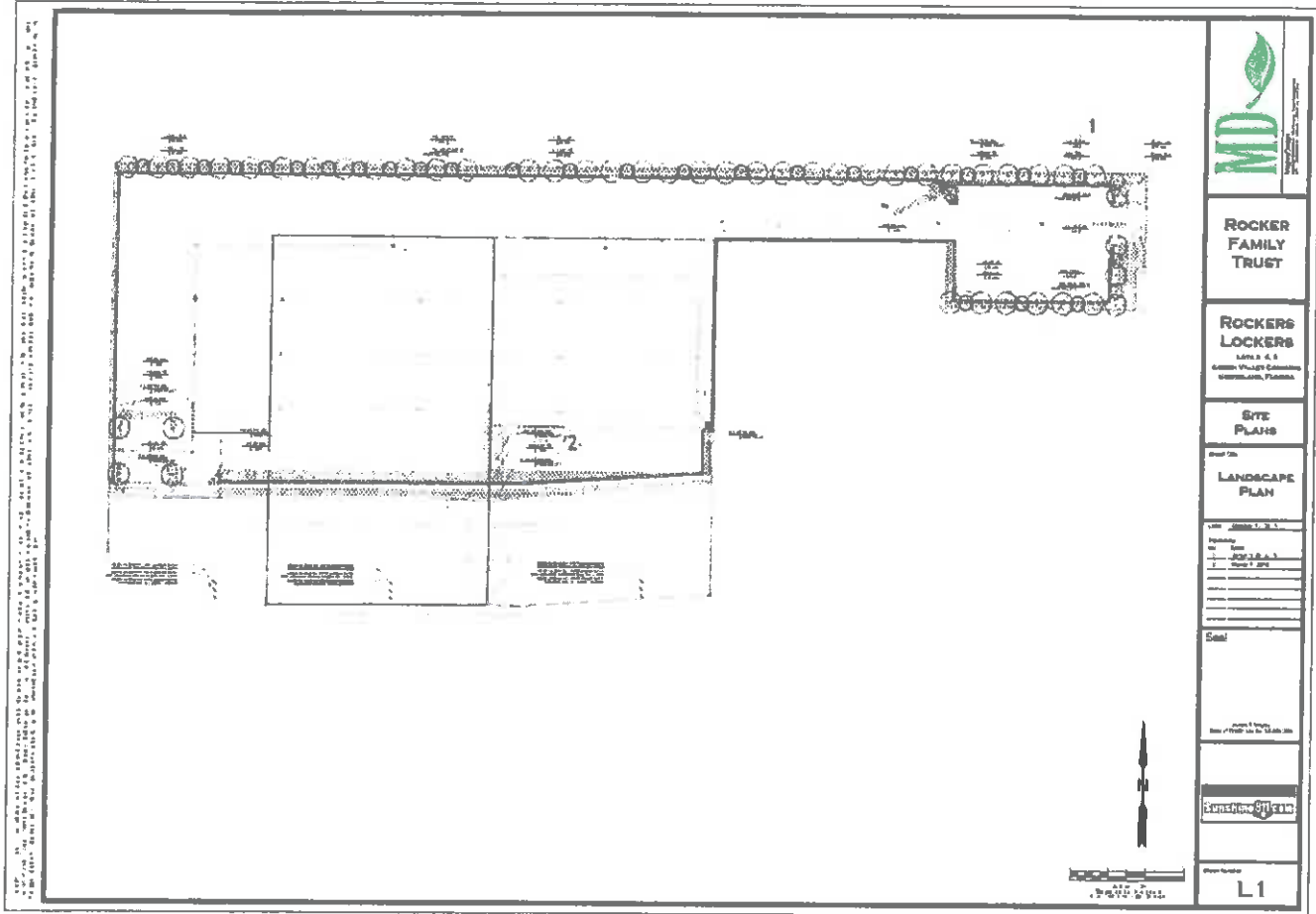
We appreciate the city's diligent assistance on our project and will be happy to answer any questions or provide any additional information as required.

Sincerely,



J. Brian Denham, P.E., President
Denham Engineering, LLC

The property has a number of easements which create difficulties in design and layout. Additionally, there are some existing improvements to the north (Magnificent Lane), and a road and retention pond to the south, which further restrict development of the property. To require a 15' or 20' wide perimeter buffer can be an unreasonable hardship.



Elevations

In regards to elevation, they have also requested a variance from Section 153-35(c)(19), 153-35(c)(20) and 137-106 relating to architectural details.

Sec. 153-35(c)(20) states: Structures which are situated on corner lots, through lots or by the nature of the site layout are clearly visible from rights-of-way and public areas of adjoining properties shall be designed with full architectural treatment on all visible sides. Such treatment shall include roof design, wall materials, and door and window openings as applicable.

Sec. 153-35(c)(19) Architectural details: Elevations of all facades of all structures shall be a required exhibit for site plan approval. Such exhibits shall include colors, materials, building dimensions, architectural details,

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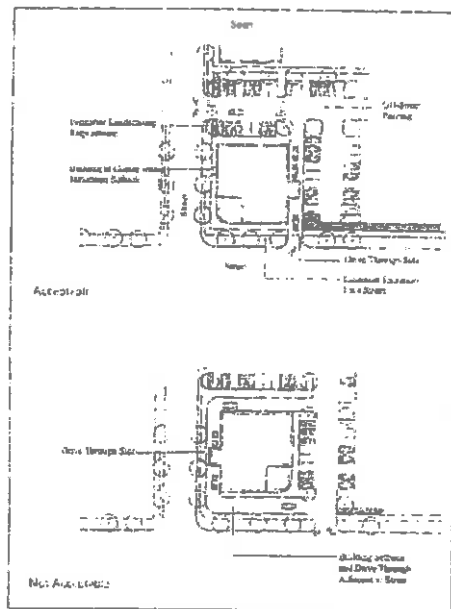
Sec. 137-106: See attached Sec. 137-106 for full details. Subsection (a)(1) requires structures on corner lots, through lots or by the nature of site design layout which are clearly visible from rights-of-way and public areas of adjoining properties shall be designed with full architectural treatment on all visible sides. Subsection (c) includes that color, shape, architectural banding, pattern change, material, and form change, etc. shall be used to break up large areas of blank wall space visible from any right of way or parking area. Blank areas shall not exceed 20 feet in horizontal direction, nor 10 feet in vertical direction. Subsection (e) requires real or false windows be provided on all elevations visible to motorists or pedestrians.

Sec. 137-106. - Orientation and design.

(a) Generally.

- (1) Structures which are situated on corner lots, through lots or by the nature of the site layout are clearly visible from rights-of-way and public areas of adjoining properties shall be designed with full architectural treatment on all visible sides. Such treatment shall include roof design, wall materials, and door and window openings as applicable. Any facade facing a public right-of-way shall have either:
 - a. The main customer entrance with associated entry features; or
 - b. Windows along 50 percent of the horizontal length of that facade.
- (2) Automobile repair, servicing or other establishments requiring large bay doors must position the building so that those doors do not face the adjacent right-of-way. Likewise, drive-through windows may not be located on the side of a building facing a right-of-way.
- (3) Drive through windows facing a right-of-way must have a landscaping buffer of five feet between the stacking lane and the parking lot. Walkable access from the right-of-way to the establishment entrance is also required.
- (4) For industrial properties that adjoin other industrial properties, only the front facade shall be required to follow the regulations in this division. Where industrial properties adjoin nonindustrial properties, the regulations in this division shall apply.

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Site Layout—Drive-Through Uses

- (b) **Facade.** Facades should be designed to reduce the scale and uniform appearance of the building and provide visual interest. No wall/elevation should run continuously for more than 100 feet without providing a change or variation in the roof line or building facade. Retail storefront design, relief features and decorative treatments should complement adjacent storefronts and relate to the detailing of the entire building or block.

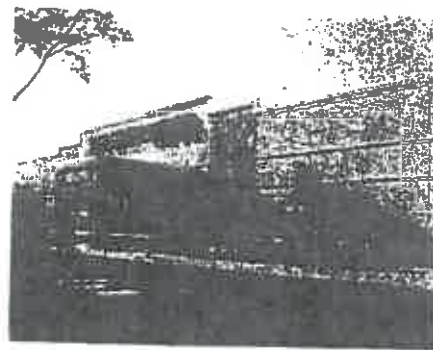
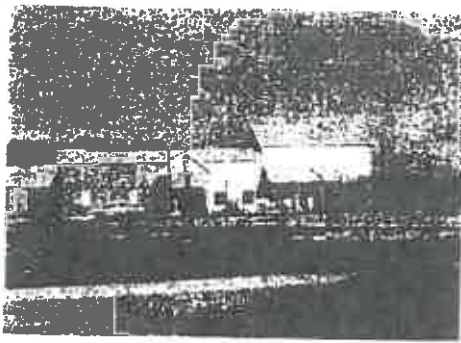


Use of false windows to enhance facade

Facade

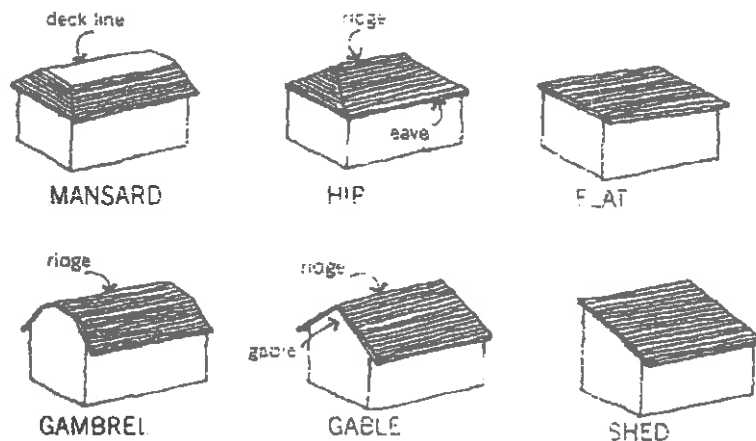
- (c) **Blank walls.** Elements of design such as color, shape, architectural banding, pattern change, material and form change, etc., shall be used to break up large areas of blank wall space that are visible from any right-of-way or parking area. Blank areas shall not exceed 20 feet in horizontal directions, nor ten feet in vertical direction.

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Blank Walls

- (d) Roofs. Variations in roof lines should be used to add interest to and, in the case of large buildings, reduce scale. The design of visible roof structures shall be of hip, gambrel, mansard, shed and gable styles and of such height, bulk and mass as to appear structural even when the design is nonstructural. The minimum permitted slope shall be 4:12.



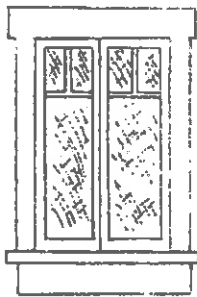
Roofs

- (1) Flat roofing systems shall only be permitted for those nonvisible areas described as follows:
 - a. Roof areas incorporated with the design or a shed, hip, gambrel, mansard or gable roof system which, when viewed from the street perspective, are not visible or apparent and do not detract from the "structural" appearance of the visible roof design. Such roof areas shall primarily be used to support roof-mounted mechanical equipment or to provide acoustical mitigation of roof-mounted mechanical equipment.
 - b. Roof areas where use of a flat roof has been determined to be an integral feature of a recognized architectural style.
- (2) Roof-like architectural embellishments such as false roofs, parapets, lean-to roofs, and other similar features may be permitted if determined to be required for the acoustical mitigation of mechanical equipment or to visually screen such equipment, and to be an

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integral feature of a recognized architectural style. Such features shall be placed on all sides of the structure as design permits.

- (3) Materials utilized on visible roof structures shall consist of wood, concrete, synthetic or fiberglass shingles, barrel tile, clay tile or similar finished material having a natural appearance. Metal roofs may be permitted if determined to be an integral feature of a recognized architectural style. Metal roofs may also be used on buildings on industrial properties that are behind the primary structure.
- (e) Windows. Real or false windows shall be provided on all elevations visible to motorists or pedestrians. Windows shall appear to be casement or double-hung. The use of fixed glass and/or false exterior mullions shall be permitted. The ratio of wall surface to openings and the ratio of the width and height of windows and doors shall be consistent with the architectural style of the building. For windows with shutters, the shutter dimensions shall be appropriately scaled to the window so as to give the appearance of operable shutters. This is not required for the sides of industrial buildings that directly adjoin other industrially-zoned properties.



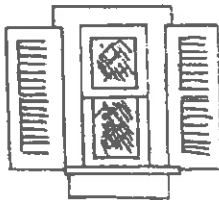
Casement



Double-hung



False-fixed Mullions



Appropriately
Dimensioned
Shutters



Inappropriately
Dimensioned
Shutters

Windows

- (f) Materials. Exterior walls shall be constructed of finished materials such as stucco, natural block or stone, finished concrete, wood or other similar material on all sides. Exposed concrete block or metal finishes shall not be permitted except where determined to be an integral feature of a recognized architectural style. For industrial buildings that are not on parcels that adjoin SR 50, SR 19, SR 33, US 27, CR 565, CR 565A, and CR 478, metal buildings are acceptable as long as the primary facade has decorative finishes or windows covering at least 50 percent of the building face, and the sides facing any properties that are not industrial either have decorative finishes or windows covering at least 50 percent of the building wall or are concealed by a landscape buffer and accompanying landscaping that is equal to double that

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normally required (double the landscape buffer width and double the number of trees and shrubs required).

- (g) Colors. Exterior building materials, unless natural stone or brick, shall be painted with earth-tone colors or pastels. The selection of pastels shall be limited to those colors having a minimum white content of 90 percent. Other colors may be used as accent colors, not to exceed 20 percent of the surface area of any one elevation. Day-Glo, fluorescent and visually overwhelming colors which are in stark contrast to surrounding buildings, and which call undue attention to the property, shall not be permitted. Likewise, color schemes that are determined by the city to be excessive, gaudy, or otherwise out of character with the spirit of this Code shall also be prohibited. The fact that certain colors are "corporate" or "signature" colors shall not be grounds for waiver from this provision. Where color schemes are used that commonly identify the business on site, said areas shall be considered signage and shall be included in the calculation of sign area.
- (h) Awnings.
 - (1) Awnings should be an adequate height and depth to form a continuous canopy along the sidewalk. If the formation of a continuous row covers or impedes architectural features and embellishments, recesses or openings may be considered. In a building containing multiples storefronts, the city may consider permitting individual stores or windows to have their own awning. Awnings on corner buildings should continue around the corner for compatibility with building form and pedestrian patterns. The size of the awning should be proportional to the scale of the host building and the surrounding streetscape.
 - (2) High-gloss vinyl (plastic) awnings and awnings with horizontal ribbing are prohibited, as are flowered or similarly patterned designs. Metal awnings are subject to the same restrictions and guidelines as other awning material. All awnings should incorporate straight valances; scalloped awnings may be permitted, subject to city approval, depending on the architecture of the building and the type and shape of awning used.

(LDR 1994, ch. XVIII, § 5.1; Ord. No. 2004-03-11, § 1(app. A), 5-3-2004; Ord. No. 2010-10-34, § 3, 10-18-2010; [Ord. No. 2014-12-19](#), § 2, 1-5-2015)

The following buildings listed below are visible from SR 50, other public right of way, and visible from adjoining properties' public space. Therefore, each must meet the architectural details provided in Sec. 137-106 and Sec. 153-35(c)(19).

Building 2 – West Elevation: The applicant indicates it will be blocked by landscaping; however, applicant states nothing but shrubs can be planted for the western boundary line, which will have a reduced perimeter buffer. If the landscape variance is granted, and the shrubberies used do not grow must in height, then the combined effect of the western elevations' lack of architectural details and lack of sufficient landscaping may result in an unattractive view.

Building 8 – East Elevation: Each project site is required to meet the code and future off-site landscaping and future development is speculative as to when construction will occur, what will be constructed, what variances/waivers the owner will seek, etc.

Building 11 – North Elevation: is visible from Magnificent Lane and the Green Valley Townhome project.

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Building 13 = South Elevation: There is only a 2' landscape buffer along the southern boundary where Building 13 is located. Each project site must meet the code.

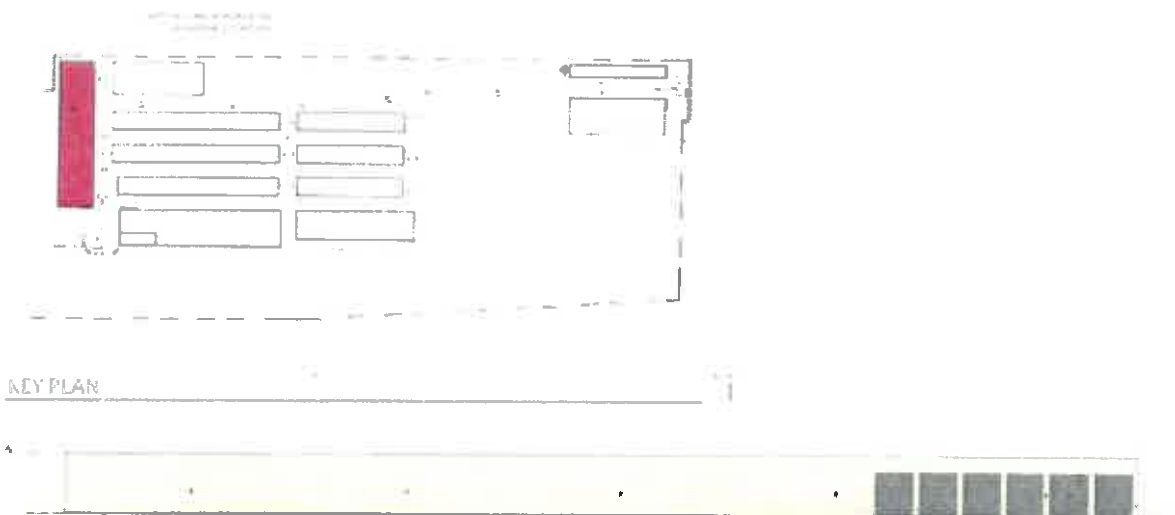
The applicant believes that from the right of ways, namely State Road 50 and Green Valley Boulevard, that the treatments to the elevations are adequate, and the site is not clearly visible from other areas due to landscaping, distance, and elevation.

Regarding Sides 2 West, 8 East and 13 South (see attached) which the site is higher than State Road 50, there is landscaping that blocks view of the site, along with after buildout Lots 6 and 3 which will have views blocked from the west, east and south. Elevation 11 North is separated by the internal road, retention pond, property landscaping, and both the roadway and landscaping at the Green Valley Townhomes subdivision to the north.

In accordance with Sec. 153-61 Council may grant a variance if it finds there is substantial competent evidence to support the following factors:

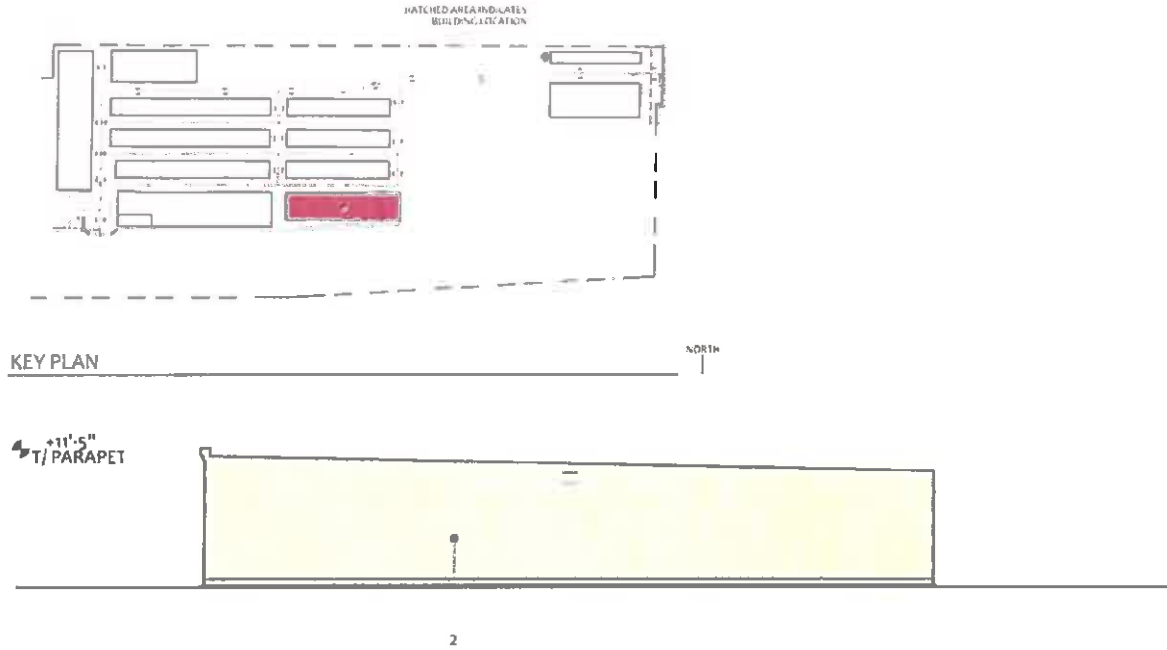
- a. That special conditions and circumstances exist which are peculiar to the land, structure or building involved, and which are not applicant to other lands, structures or buildings in the same zoning district;
- b. That special conditions and circumstances do not result from the actions of the applicant;
- c. That literal interpretation of the provisions of this chapter would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the same terms of this chapter and would work unnecessary and undue hardship on the applicant;
- d. That the variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure; and
- e. That the grant of the variance will be in harmony with the general intent and purpose of this chapter, and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

BUILDING 2 – WEST ELEVATION

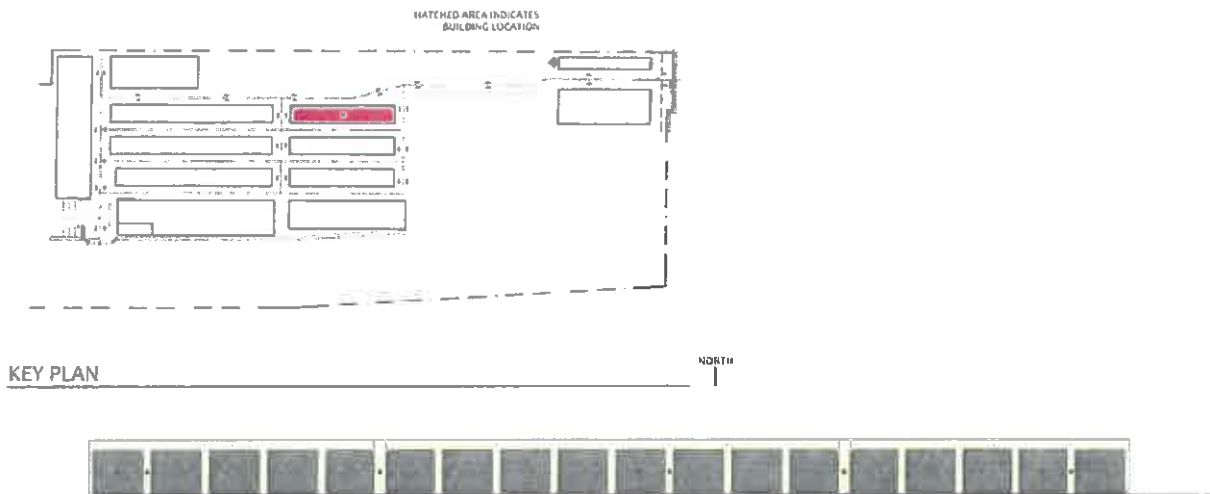


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BUILDING 8 – EAST ELEVATION

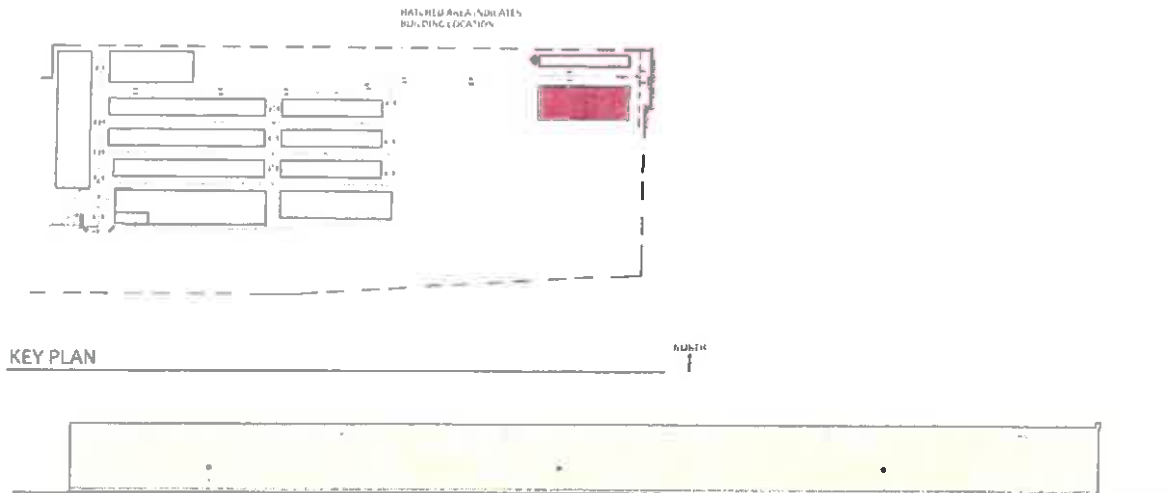


BUILDING 11 – NORTH ELEVATION



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BUILDING 13 – SOUTH ELEVATION



Council may prescribe appropriate conditions and safeguards in granting the variance.

Based upon the information provided to staff to date, staff recommends approval of the variance to landscape code and consider the variance for architectural details for approval with consideration to the site specific conditions.

STAFF RECOMMENDATION: Motion to approve landscaping variance and consider variance approval to architectural details based on site specific conditions

REVIEWED BY CITY MANAGER:

COUNCIL ACTION:

MOTION BY:

SECOND BY:

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